

RENOVATION PROJECT

ASHEVILLE, NC 28804

General Notes:

- Work that is not specifically detailed shall be performed to the same standards and quality as similar work that is detailed. All work shall be done in accordance with International Building Codes and all local Jurisdiction Codes.
- Written dimensions and specific notes shall take precedence over scaled dimensions and general notes.
- CDS shall be consulted for clarification if any site conditions are encountered that are different than shown, if discrepancies are found in the plans or notes, or if a question arises over the intent of the plans or notes.
- The contractor shall verify, and is responsible for all dimensions, including but not limited to rough openings.
- For square footage calculations, porches, decks, foundation, exterior enclosures, and garage areas are not included in the calculated living area.
- All exhaust fans are to be vented directly to the exterior.
- All penetrations of the building envelope shall be appropriately sealed with caulk or foam.
- Homeowner will take necessary precautions to remove or relocate items of value to be reused and/or saved, or in any danger of being damaged due to construction activities.
- Contractor to take care during demolition stage to minimize damage to finishes and structures that are to remain intact.
- Contractor shall remove, recycle and lawfully dispose of construction debris or materials.
- Abatement of lead, asbestos, or other hazardous materials shall be performed by professionals certified in such removals.
- These plans, the notes, recommendations, and considerations included herein are offered in good faith for the Contractor's reference. These plans and notes are not intended to be all inclusive, and do not by any means include all the information necessary to cover all aspects of the construction project. These plans and notes are superseded by the Contractor's and/or trade subcontractor's experience, best judgment, as well as the currently adopted edition of the International Residential Building Code. The drawings, illustrations, renderings, and diagrams in this plan set are designs of the building and/or proposed improvements, and they are to be used in coordination of the work the contractor and/or trade subcontractors are responsible for. The integrity of all assemblies, and work is to conform to commonly accepted residential construction standards.
- CDS may visit the project site from time-to-time in order to observe course of construction in accordance with these drawings. Field reports containing observances of construction and/or performance will only be issued by CDS to the client directly. CDS is not responsible for any work performed by the Contractor.
- The Contractor shall be responsible for replacement or remedy of faulty, improper, inferior materials or workmanship at their own expense. Contractor shall remedy the deficiency in a timely manner as set forth by the client.
- Contractor is responsible for job safety in accordance with all applicable regulatory authorities.
- Warranty is neither confirmed nor implied by CDS.

Site Notes:

- The Contractor shall install silt fencing prior to any excavation or construction begins, provide erosion control measures, provide tree protection barricades as required by local codes and to provide protection of adjoining properties due to construction activities, and minimize site disturbance by tight control of excavation limits.
- Contractor to verify location of all existing utilities by notifying / utilizing 811 locate service in proper advance of any trenching or digging.
- Installation and use of a rock "mud mat" utilizing coarse aggregate rocks is highly recommended to clean construction vehicle tires of mud debris before leaving the construction site.
- The Contractor shall provide a highly visible permit box to store the permit placard, approved plans, contractor contact information, etc.
- All exposed soil shall be mulched with straw or wood chips to minimize soil erosion. No soil shall be left in an exposed condition.
- Hydroseed or use seed and straw material soil expected to remain disturbed for any length of time.
- Positive drainage shall be provided away from the building.
- Place fill slopes with gradient steeper the 3:1 in lifts not to exceed 8 inches, and make sure each lift is properly compacted.

Structural notes:

- All structural information shown are for reference purposes only. As needed, and if the local jurisdiction requires, the Contractor shall have a licensed Structural Engineer review and design all structural elements such as all footings, foundation, slab, framing walls, beams, connections, headers, joists, rafters, etc. (CDS can assist in securing the services of a Structural Engineer if needed.)
- All concrete shall be a minimum 2,500 psi, with 3,000 psi minimum recommended.
- Design loads shall meet or exceed locally adopted codes.
- All structural steel shall conform with astm specification A36 and be designed / specified by a licensed Structural Engineer.
- Unless otherwise noted, provide a 2x plate bolted to the top flange of all steel beams with 3/8" diameter bolts staggered at 24" oc.

Floor plans notes:

- All dimensions are from face of stud to face of stud unless noted otherwise.
- Window sizes indicated on plans are noted by approximate rough opening size, and are not specific to any window brands. Refer to plans and exterior elevations for window types. Contractor to verify all rough dimensions prior to commencing construction.
- Contractor shall specify all closet shelving requirements.
- Do not scale drawings, follow shown dimensions.
- Field verify all cabinet dimensions before fabrication.
- All bedrooms shall have an exterior window having a minimum net clear opening of 5.7 s.f., a minimum net clear openable width of 20", a minimum net clear openable height of 24", and its sill must be a maximum height of 44" from the finished floor.
- All glass located within 18" of the finished floor, within 12" of a door, within 36" of a walking surface (measured horizontally and in a straight line), or located within 60" of the finished floor at wet areas like bathtubs, whirlpools, showers, saunas, steam rooms or hot tubs, shall be tempered.
- All exposed insulation shall have a flame spread rating of less than 25, and a smoke density rating of less than 450.
- All interior walls shall be covered with 1/2" gypsum board, with metal corner reinforcing, taped, floated and sanded with 3 coats (minimum of Level 4 finish) unless otherwise noted on plans or directed by the Contractor.
- Use 5/8" gypsum board on all ceilings unless otherwise noted on plans or directed by the Contractor.
- All wet areas, including bathroom and toilet area walls and ceilings, shall have water resistant gypsum board. (or equivalent)
- Handrails shall be mounted 34" above nosing of stairs, and guardrails shall be mounted at 36".

Framing notes:

- All structural lumber shall be No. 1 or No. 2 SPF (spruce-pine-fir), Douglas fir, Hem-fir, or SYP (southern yellow pine).
- All header materials shall be free from all splits, checks or shakes.
- Unless noted otherwise, provide double header joists and trimmers at all floor openings. (or equivalent LVL's)
- Provide double joists under all parallel partitions.
- Provide double 2" headers with 1/2" plywood between glued and nailed for all openings in 2"x6" walls. Depth to be determined by span. (or equivalent LVL's)
- Provide double 2" headers nailed together for all openings in 2"x4" walls. Depth to be determined by span. (or equivalent LVL's)
- Minimum header size shall be (2) 2"x6" unless noted otherwise. Exterior walls shall be (2) 2"x12" with 1/2" plywood glued and nailed.
- Provide fire blocking, draft stops and fire stops as per I.B.C. Swc. R502.12.
- Exterior wall sheathing to be 1/2" plywood or Zip System. (or equivalent)
- Roof deck sheathing to be 5/8" plywood or Zip System. (or equivalent)

Plumbing, Mechanical, & Electrical notes:

- Plumbing shall meet all local codes.
- If a tanked water heater is located anywhere except in a garage or basement, provide a drain pan with auxiliary drain to the exterior.
- It is recommended to provide a drain pan under the washing machine, or a floor drain nearby at a minimum.
- Bathrooms shall be vented to the outside with a minimum of a 90 CFM fan.
- Range hoods shall be vented to outside unless specifically noted otherwise, or as directed by the Contractor.
- Make up air must be provided if range hood exceeds 400 CFM.
- Contractor shall provide a time with relevant installers for homeowner to do a walk-thru prior to rough-in stage to verify the exact locations for outlets, lights, switches, cable, data, phone, audio, etc.
- Electrical receptacles in bathrooms, kitchens, garages, and on the exterior shall be G.F.C.I. per national electrical code.
- Provide one smoke detector in each bedroom and one in each corridor accessing bedrooms. Connect smoke detectors to house power and inter-connect smoke detectors so that when one is tripped, they all will sound. Provide battery backup for all smoke detectors.

I HAVE REVIEWED AND
HEREBY APPROVE THIS SHEET

DATE

PLAN PAGE INDEX

SHEET # TITLE

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IED-1	INTERIOR 3D VIEWS

CHOUINARD DESIGN SERVICES (CDS) HAS MADE EVERY EFFORT TO ENSURE ALL DIMENSIONS ON THESE PLANS ARE CORRECT, AND ALL PERTINENT GOVERNMENT, MUNICIPALITY, AND/OR ENVIRONMENTAL REGULATIONS AND CODES HAVE BEEN MET, HOWEVER CDS CAN NOT GUARANTEE AGAINST HUMAN ERROR. IF AN OMISSION OR ERROR ON THESE PLANS DOES OCCUR, CDS IS HAPPY TO ASSIST IN THE CORRECTIVE ACTION AS NEEDED, BUT IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER TO ULTIMATELY REMEDY THE SITUATION AT HIS/HER OWN EXPENSE, AND IS NOT THE RESPONSIBILITY AND/OR AT THE EXPENSE OF CDS.

THE CONTRACTOR (AND/OR THE OWNER WHERE "CONTRACTOR" IS USED IF THE OWNER IS SELF CONTRACTING) IS RESPONSIBLE FOR VERIFICATION OF; ALL DIMENSIONS IN THE FIELD, ALL SITE CONDITIONS, AND CONFIRMATION THAT ALL PERTINENT GOVERNMENT, MUNICIPALITY, AND/OR ENVIRONMENTAL REGULATIONS AND CODES HAVE BEEN MET. THE CONTRACTOR SHALL ULTIMATELY PERFORM THEIR DUTIES IN ACCORDANCE WITH THE LATEST ADOPTED VERSION OF THE INTERNATIONAL RESIDENTIAL BUILDING CODE.

WHILE CDS OFFERS ARCHITECTURAL DESIGN AND DRAFTING SERVICES, CDS IS NOT A LICENSED ENGINEER OR ARCHITECT. AS SUCH, CDS ASSUMES NO LIABILITY FOR THE STRUCTURAL DESIGN INTEGRITY ON THESE PLANS AND/OR THE STRUCTURE IN QUESTION. THE USER OF THESE PLANS IS HEREBY ADVISED TO SEEK THE SERVICES OF A LOCALLY LICENSED ENGINEER AND/OR ARCHITECT BEFORE ANY WORK IS PERFORMED IF THERE ARE ANY QUESTIONS OR CONCERNES ALONG THESE LINES.

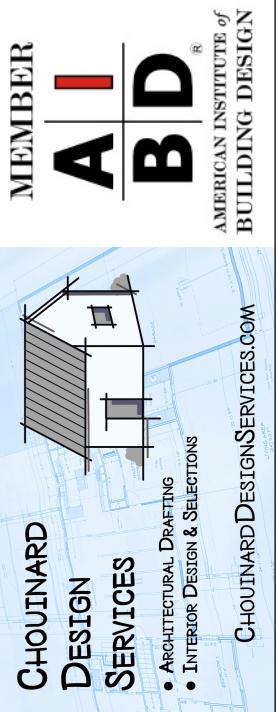
THESE PLANS GRANT THE CONTRACTOR (LICENSEE) A NON-EXCLUSIVE, NON-TRANSFERABLE LICENSE TO USE THE PLANS FOR THE CONSTRUCTION / RENOVATION / ADDITION OF ONE RESIDENTIAL STRUCTURE AT THE PROPERTY ADDRESS SHOWN ON THE COVER SHEET. THE COPYRIGHT AND ALL OTHER INTELLECTUAL PROPERTY RIGHTS IN THE PLANS REMAIN THE SOLE PROPERTY OF CDS. THE LICENSEE SHALL NOT REPRODUCE, MODIFY, OR DISTRIBUTE THE PLANS BEYOND THE SCOPE OF THIS AGREEMENT WITHOUT THE PRIOR WRITTEN CONSENT OF CDS. THIS LICENSE IS VALID FOR THE DURATION OF THE CONSTRUCTION PROJECT AND SHALL EXPIRE UPON SUBSTANTIAL COMPLETION OF THE PROJECT.

TO THE BEST OF MY KNOWLEDGE THESE PLANS HAVE BEEN DRAWN TO COMPLY WITH THE CONTRACTOR'S (AND/OR THE OWNER'S) SPECIFICATIONS AND DESIRES. WHILE CDS IS HAPPY TO ASSIST AS NEEDED, ANY POTENTIAL CHANGES MADE AFTER THE PLANS HAVE BEEN FINALIZED WILL BE DONE AT THE CONTRACTOR'S AND/OR OWNER'S EXPENSE AND RESPONSIBILITY.



DEAN CHOUINARD
CHOUINARD DESIGN SERVICES

12/09/2025
DATE



REVISION TABLE	LABEL	DATE	DESCRIPTION
V1.2	12/4/25		FINAL LAYOUT DESIGN

CLIENT / JOB INFORMATION:
RENOVATION PROJECT
ASHEVILLE, NC 28804

DATE:
12/31/25
SCALE:
1/4" = 1'
SHEET:
T-1

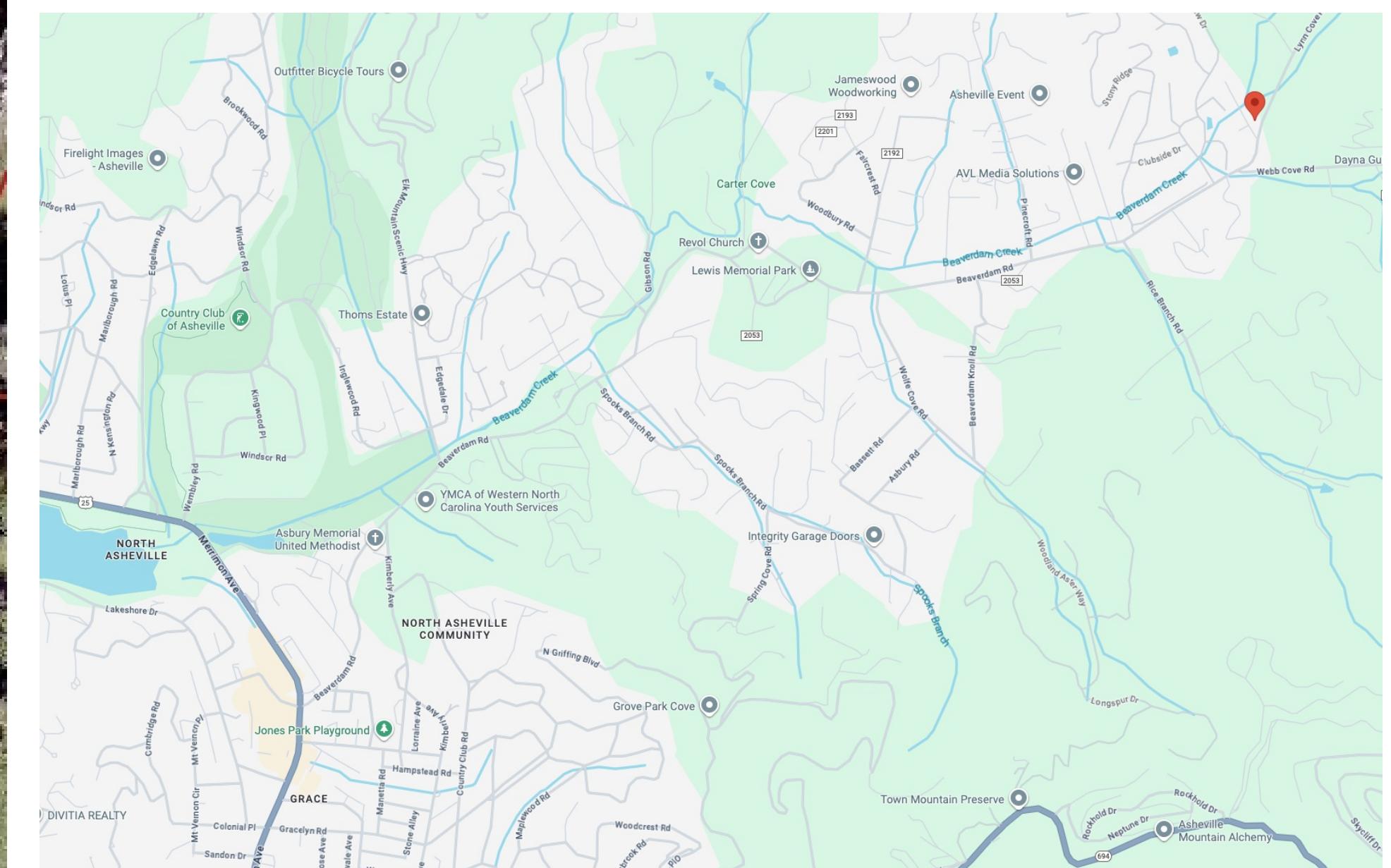
SITE PLAN



SITE OVERVIEW
NOT TO SCALE

I HAVE REVIEWED AND
HEREBY APPROVE THIS SHEET

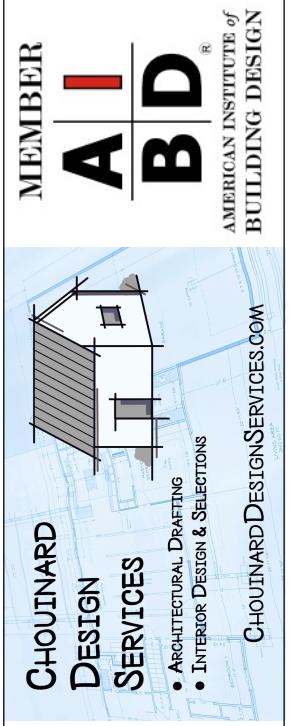
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VICINITY MAP
NOT TO SCALE

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ASHEVILLE, NC 28804

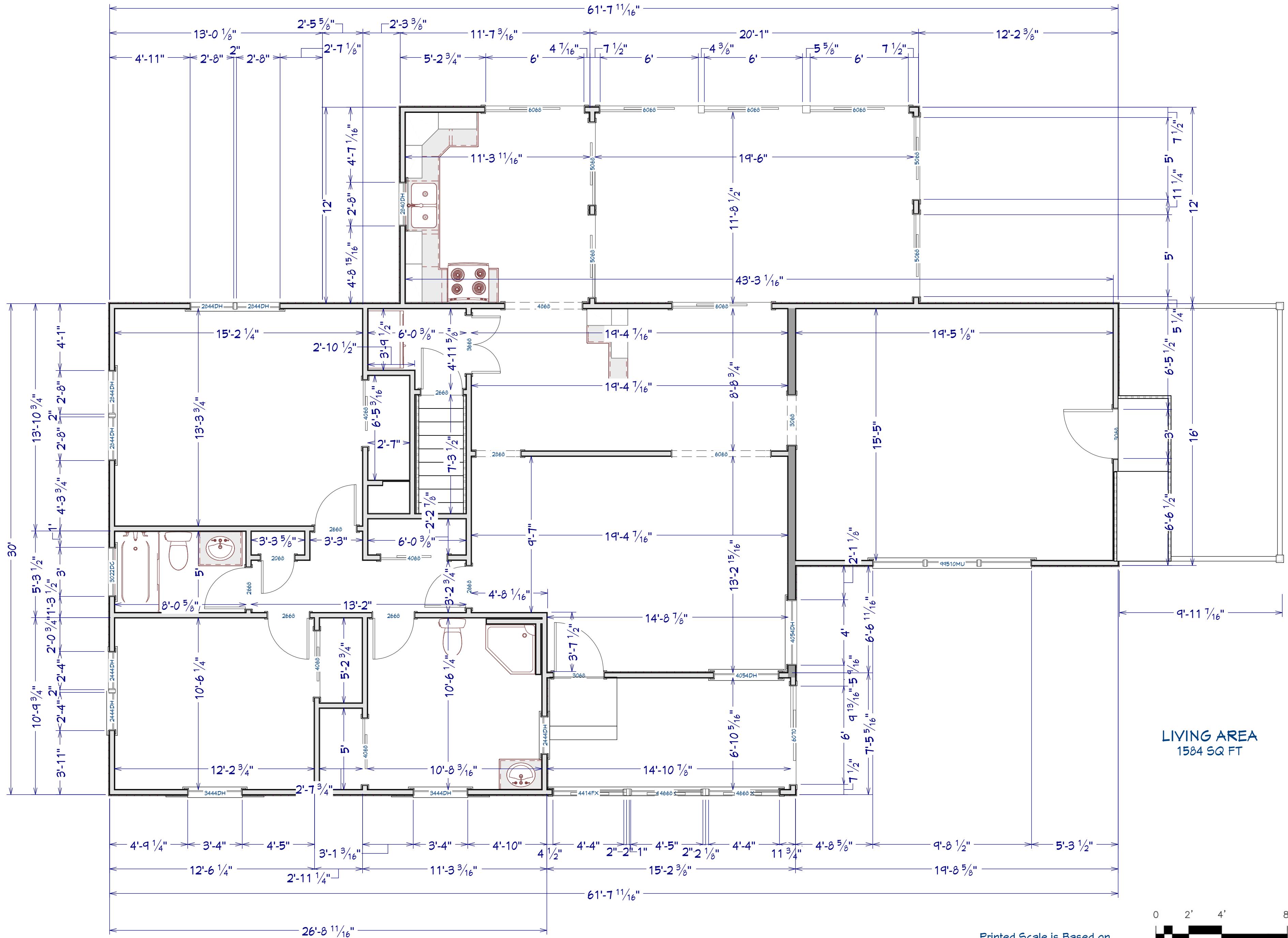
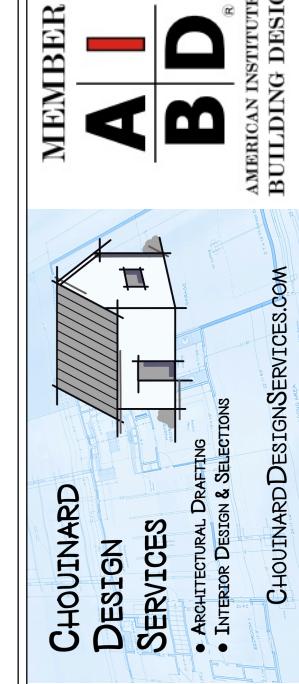
DATE:
12/31/25
SCALE:
1/4" = 1'
SHEET:
S-1



AS BUILT / EXISTING PLAN

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DATE

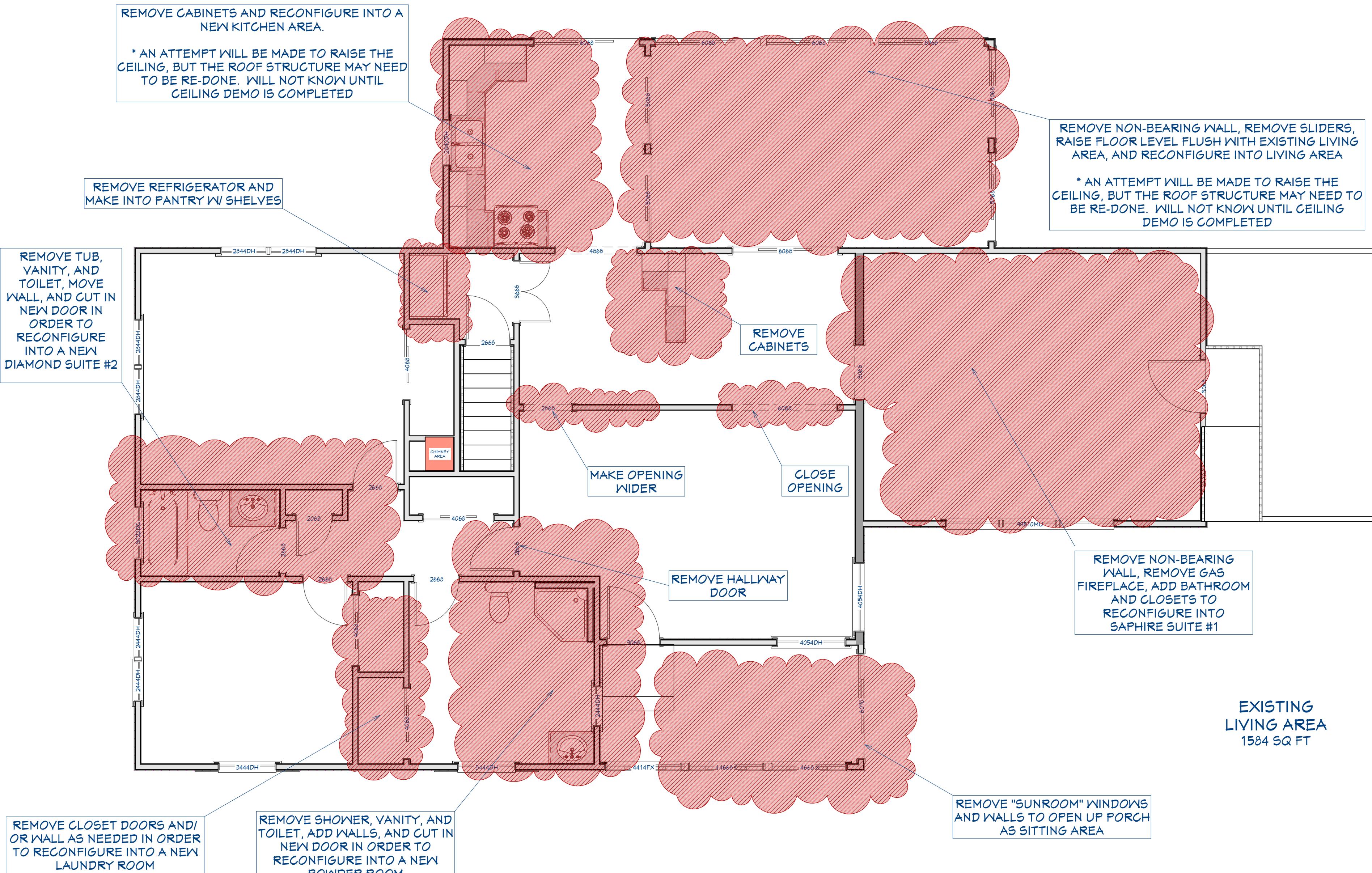
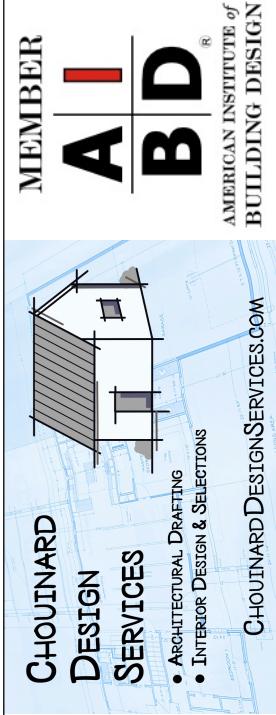


CLIENT / JOB INFORMATION:	
RENOVATION PROJECT ASHEVILLE, NC 28804	
DATE: 12/31/25	
SCALE: 1/4" = 1'	
SHEET: AB-1	

DEMOLITION PLAN

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DATE:
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SCALE:
1/4" = 1'
SHEET:
D-1

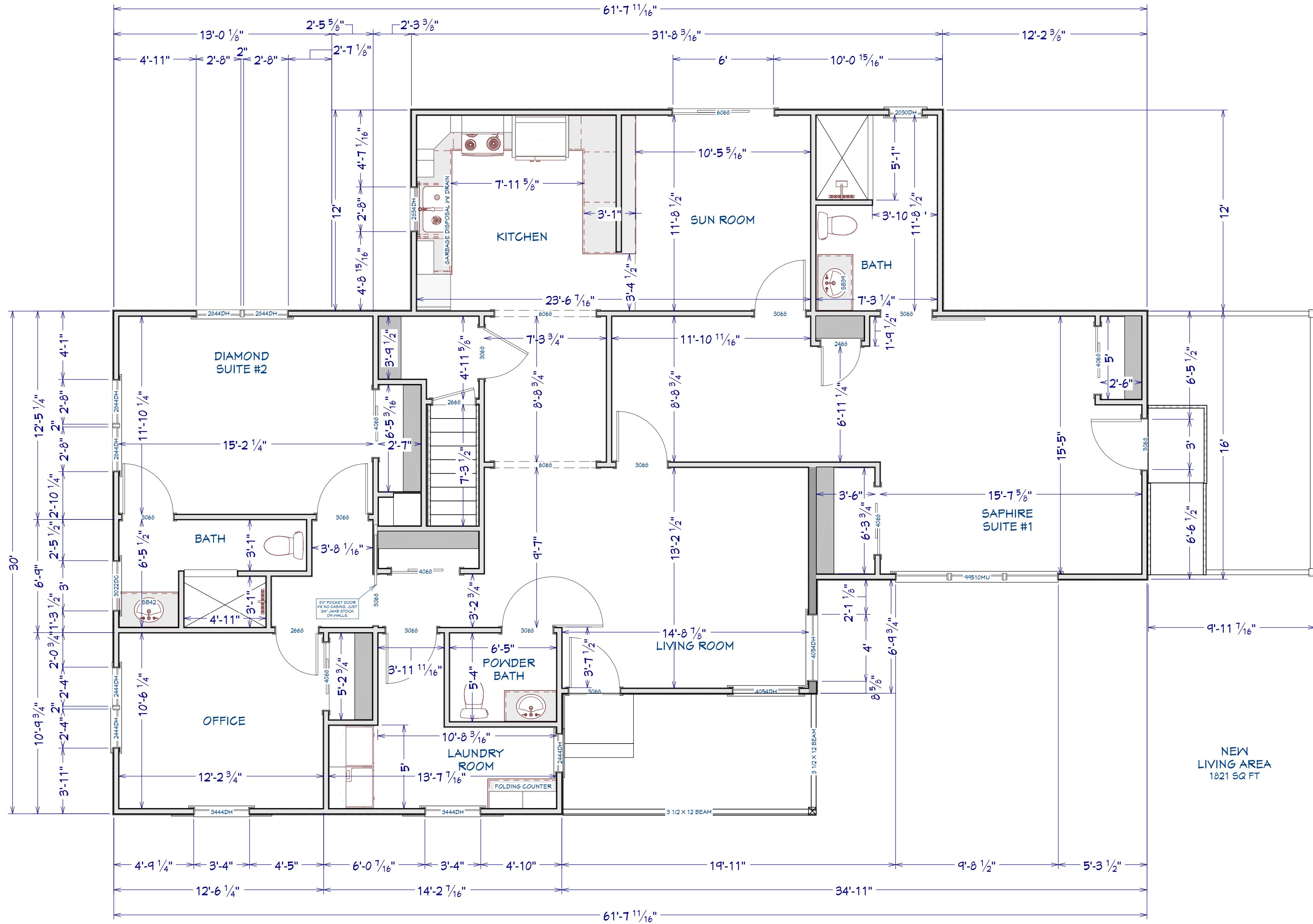
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Printed Scale is Based on
18" x 24" Paper Size (ARCH C)

NEW FLOOR PLAN

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DATE

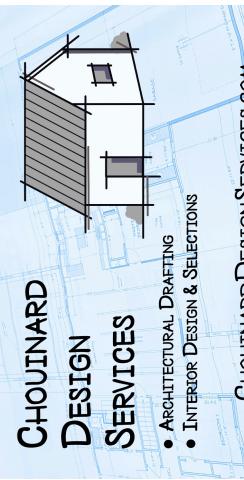


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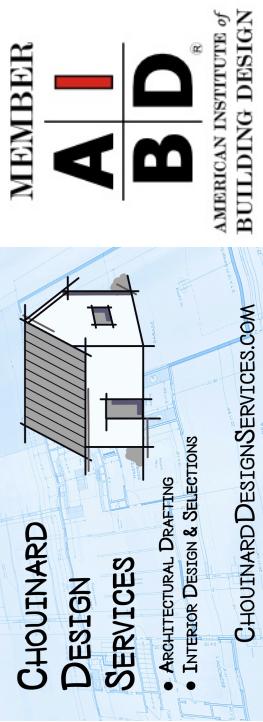
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SHEET: P-1



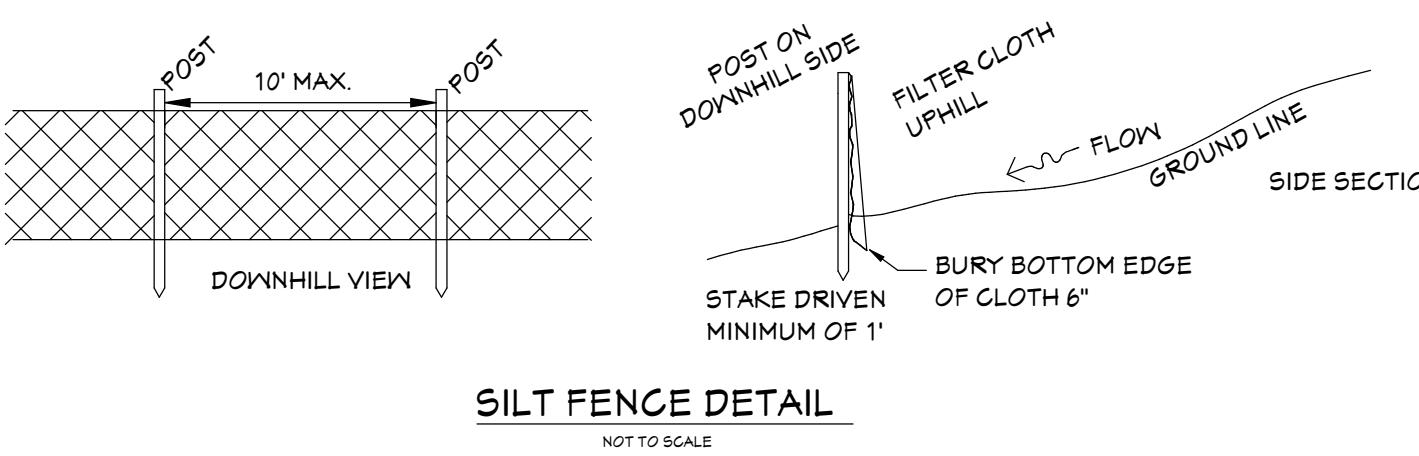
TYPICAL DETAILS (AS NEEDED)

I HAVE REVIEWED AND
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DATE



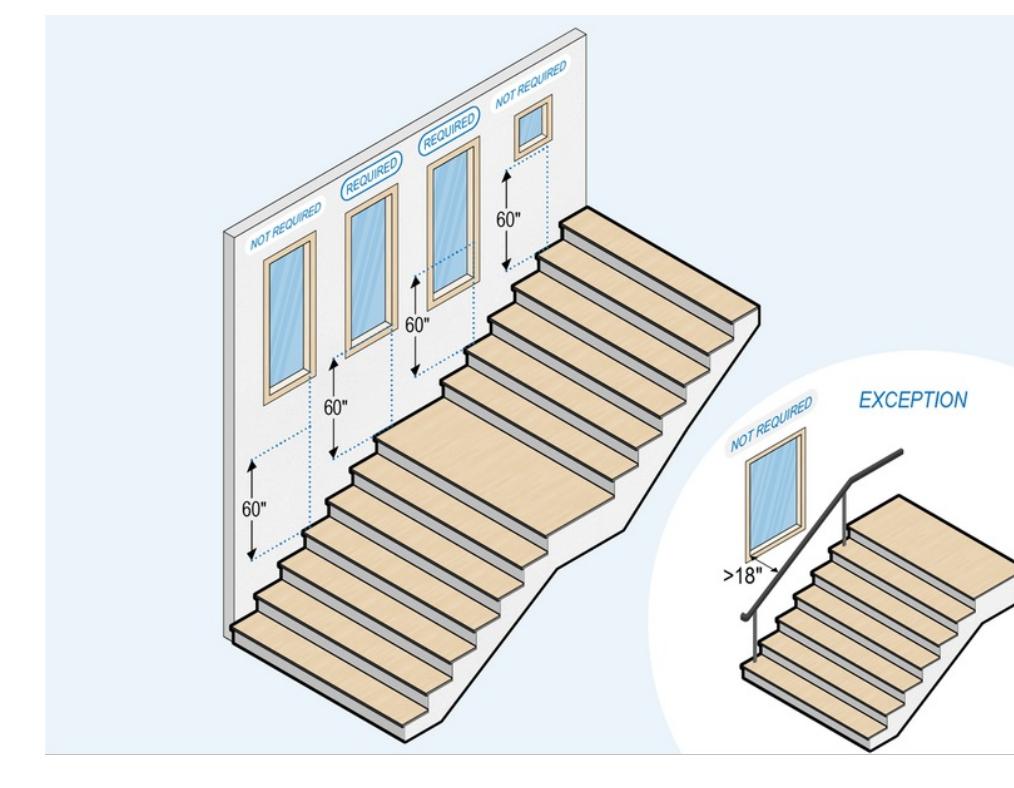
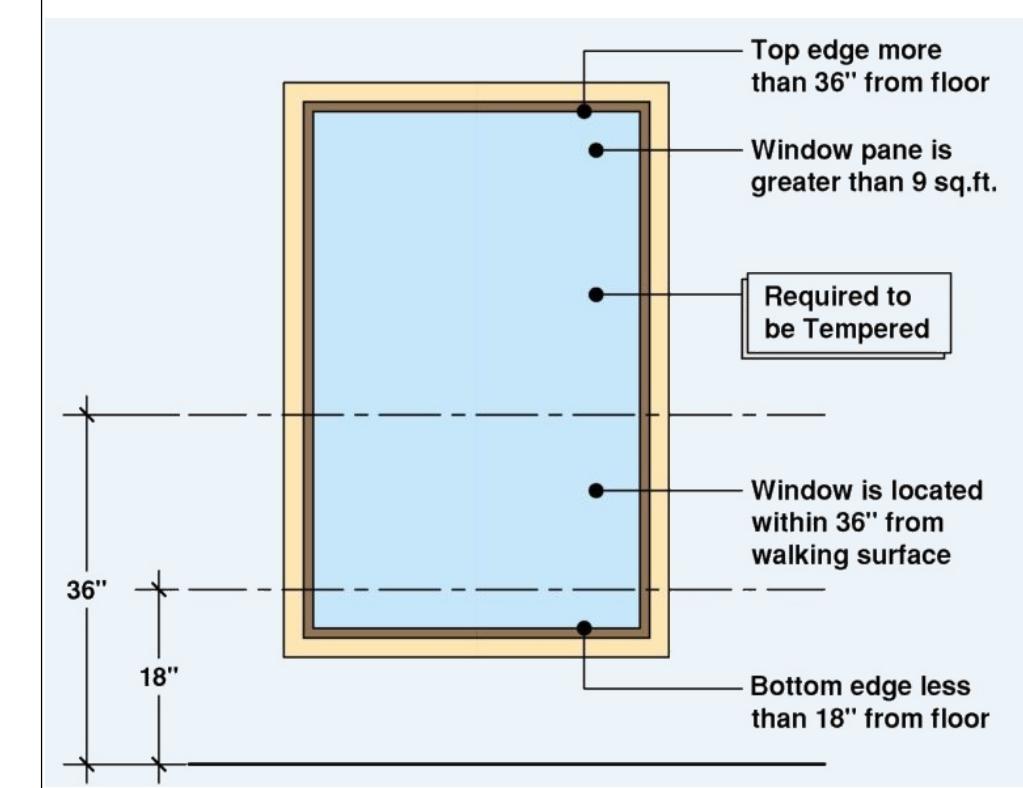
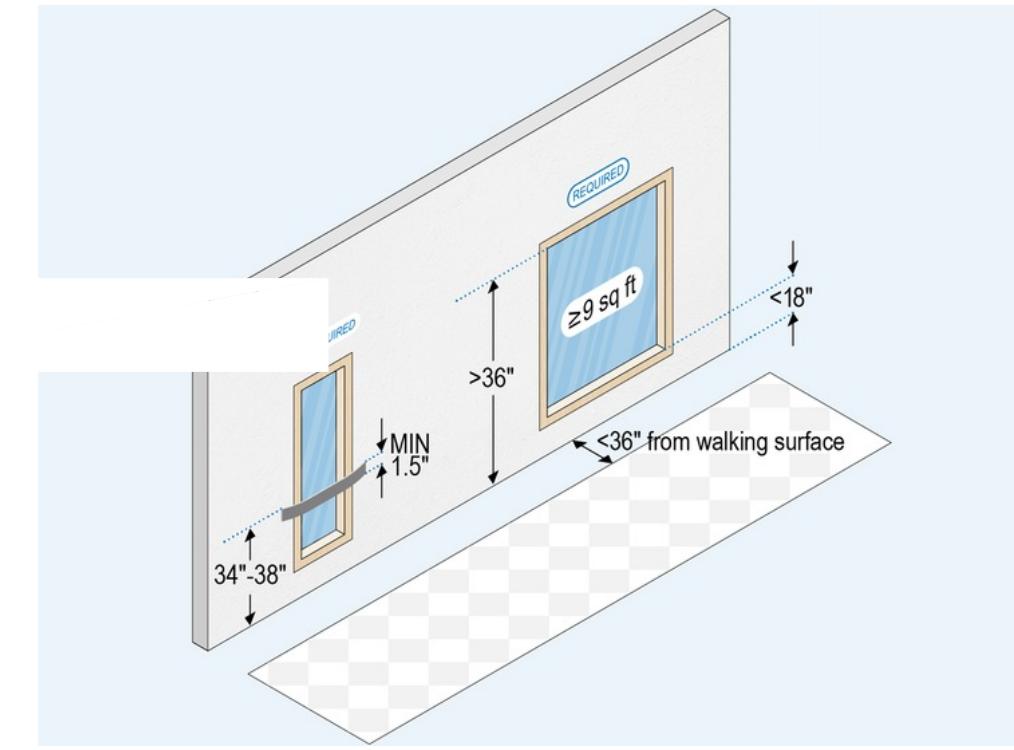
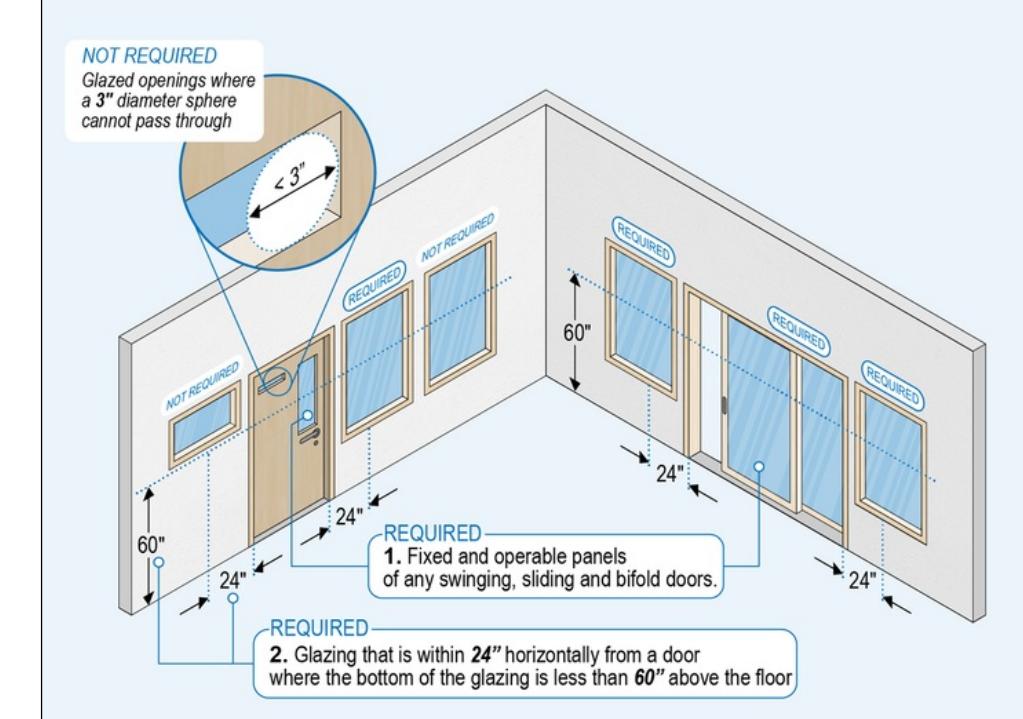
SITE WORK



SEDIMENT CONTROL MAINTENANCE & INSPECTIONS

THE CONTRACTOR SHALL PROVIDE TEMPORARY SEDIMENT CONTROL SILT FENCE AS SHOWN ON PLAN TO ENSURE SEDIMENT-LADEN WATER DOES NOT LEAVE THE PROPERTY BOUNDARIES. THE CONTRACTOR FOR THE PROJECT SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE SILT FENCE TO ASSURE CONTINUED PERFORMANCE OF IT'S INTENDED USE. AT MINIMUM TWO INSPECTIONS BY THE DESIGN PROFESSIONAL ARE REQUIRED FOR THE PROPOSED PROPERTY. 1) AFTER SEDIMENT CONTROL SILT FENCE HAS BEEN INSTALLED, PRIOR TO GROUND DISTURBANCE, AND; 2) AFTER THE PROJECT HAS BEEN COMPLETED, INCLUDING RE-VEGETATION AND/ OR PROPOSED LANDSCAPING. FOR SITES WHICH ARE ACTIVE DURING THE WINTER MONTHS, TWO ADDITIONAL INSPECTIONS ARE REQUIRED. 1) PRE WINTER (OCT OR NOV) AND 2) POST WINTER (FEB OR MARCH) TO ENSURE EROSION AND SEDIMENT CONTROL MEASURES ARE INTACT AND FUNCTIONING PROPERLY. THE PERMITTEE'S DESIGN PROFESSIONAL SHALL PERFORM THE INSPECTIONS AND SUBMIT INSPECTION REPORTS TO [ENTER YOUR JURISDICTION HERE] BUILDING & PLANNING. ALL ACTIVITIES GOVERNED BY THESE REGULATIONS SHALL BE SUBJECT TO INSPECTIONS BY [ENTER GOVERNING BODY HERE]. AN APPROVED SET OF PLANS MUST BE AVAILABLE FOR REVIEW THROUGHOUT THE DURATION OF THE PROJECT. IT SHALL BE THE PERMITTEE'S RESPONSIBILITY TO KEEP [ENTER GOVERNING BODY HERE] NOTIFIED OF THE PROGRESS OF THE PROJECT AND SUBMIT ALL REQUIRED INSPECTIONS.

TEMPERED GLASS



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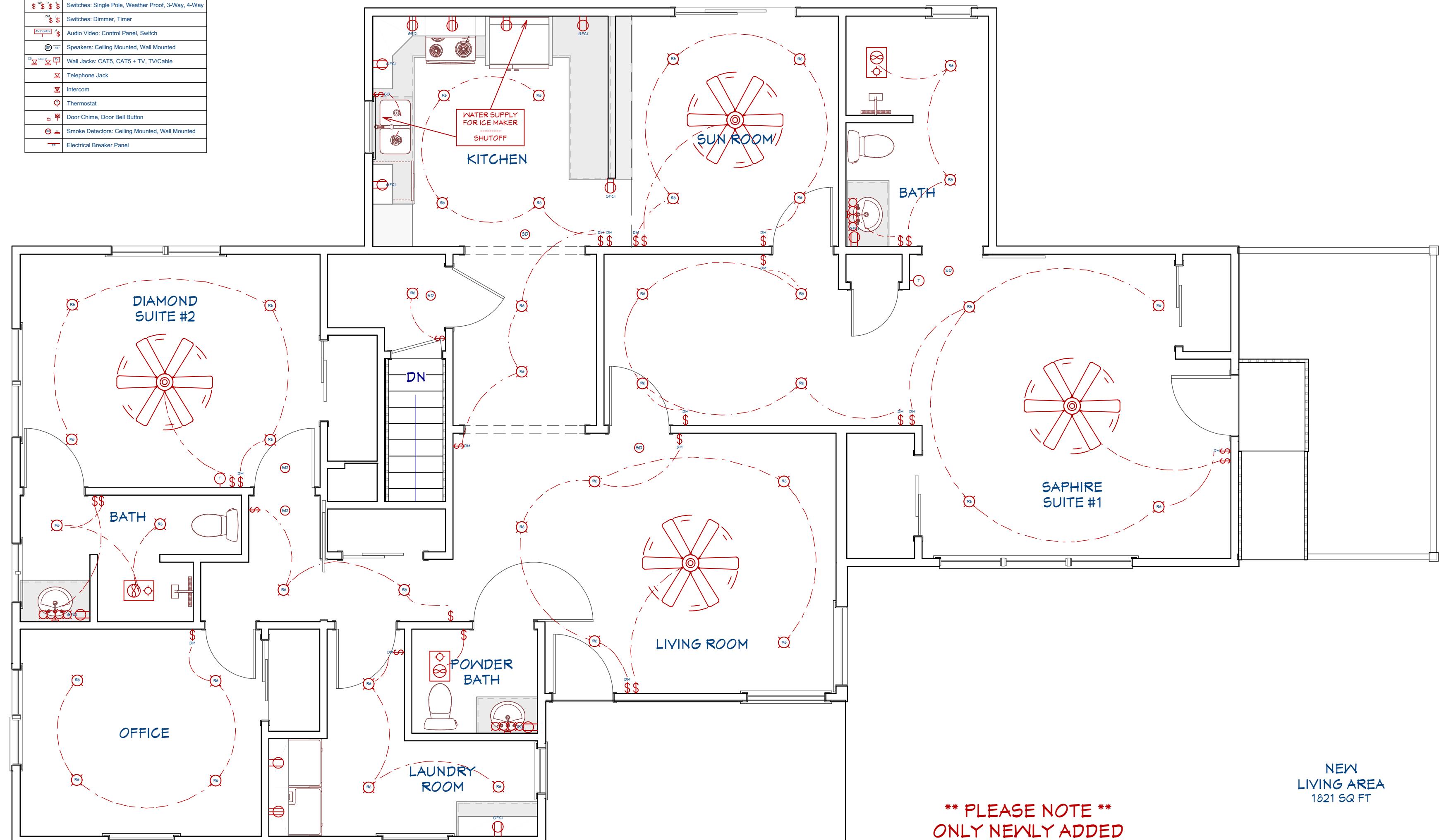
DATE:
12/31/25
SCALE:
1/4" = 1'
SHEET:
P-2

NEW ELECTRICAL PLAN

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fan: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

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NEW
LIVING AREA
1821 SQ FT

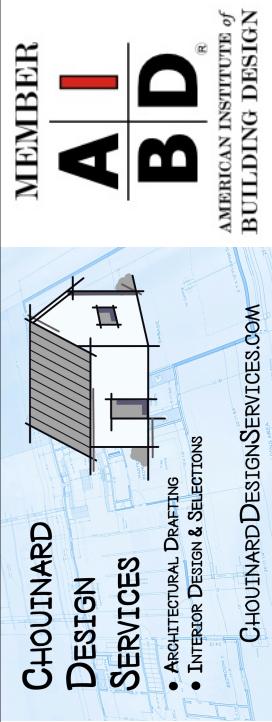
** PLEASE NOTE **
ONLY NEWLY ADDED
ELECTRICAL IS
SHOWN

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SHEET:
E-1

0 2' 4' 8'
SCALE: 1/4" = 1'-0"

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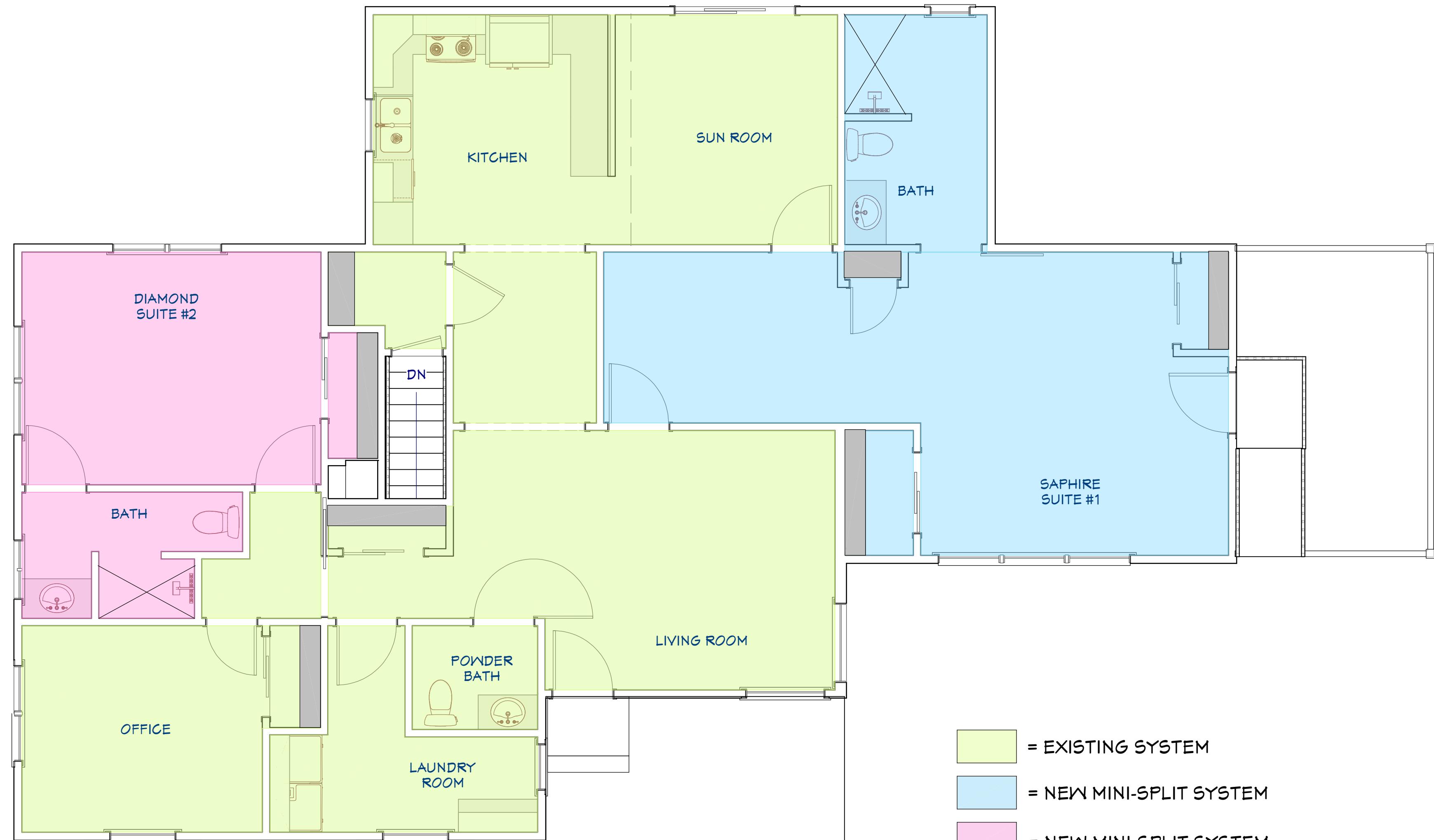


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HVAC PLAN

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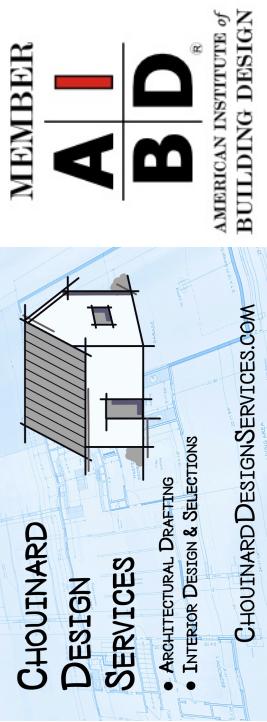


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SHEET:
M-1

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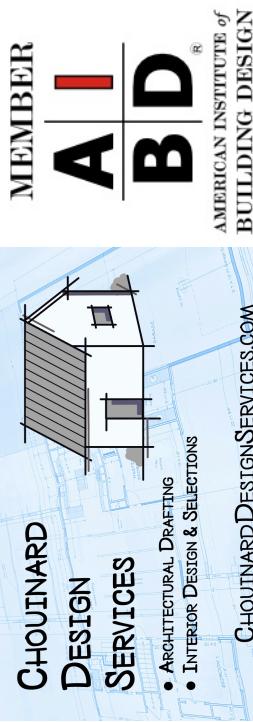
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INTERIOR ELEVATIONS

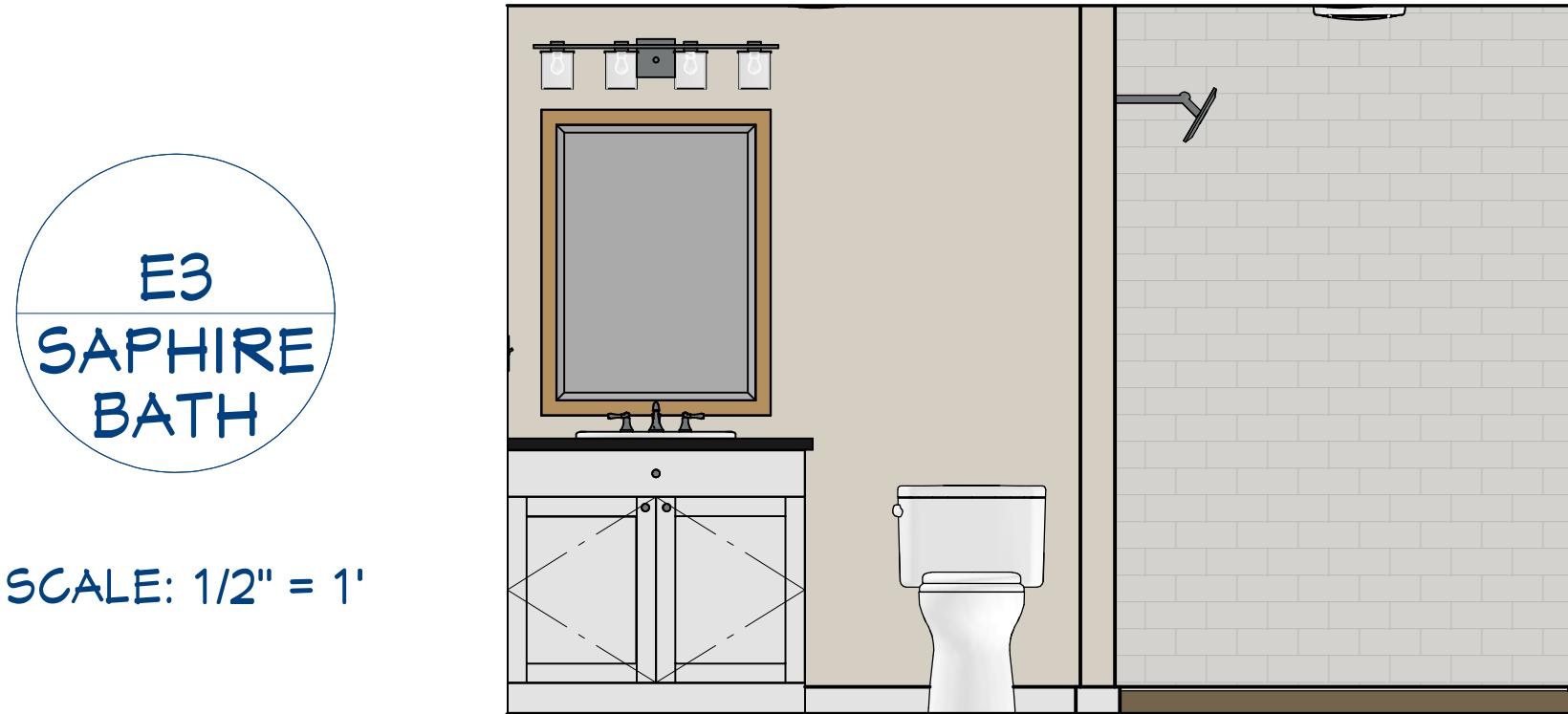
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E1 KITCHEN

SCALE: 1/2" = 1'



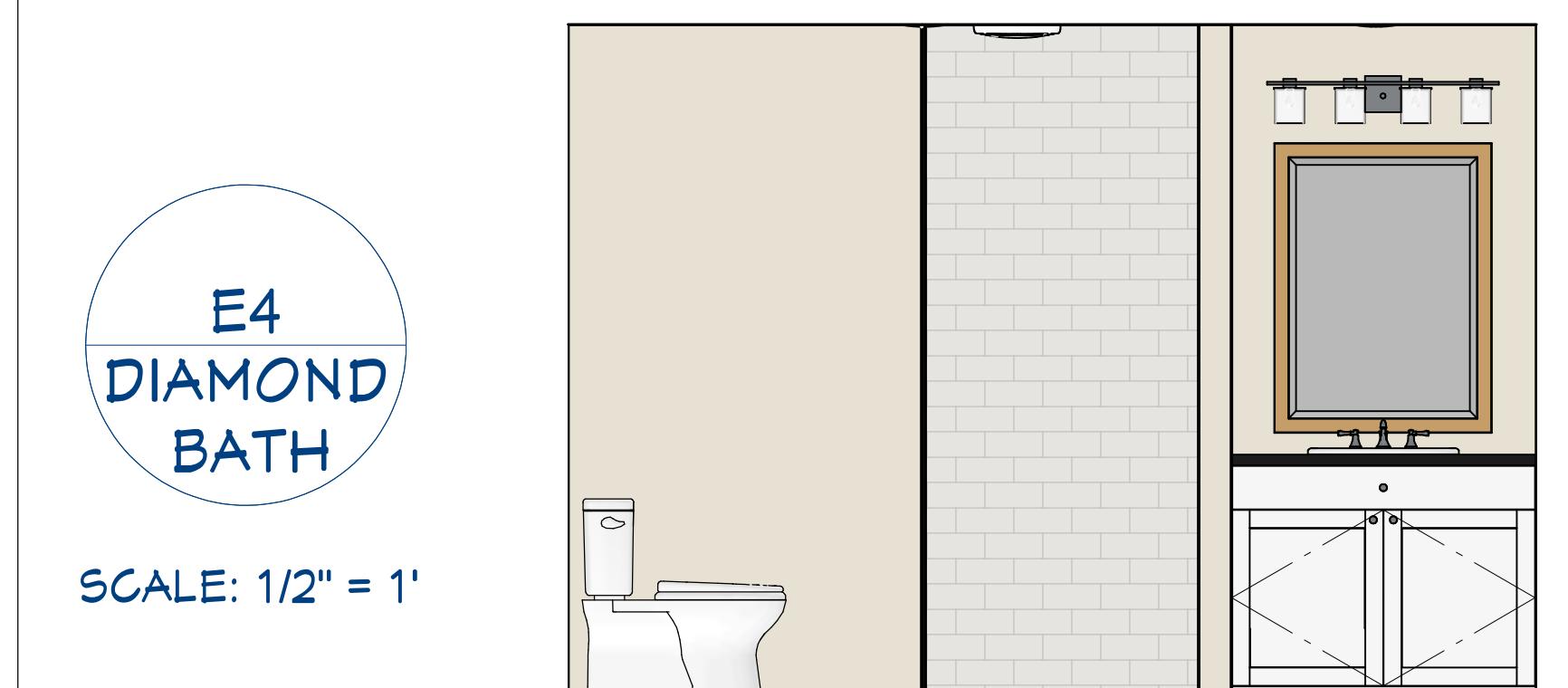
A circular logo with a thin black border. Inside, the letters 'E3' are positioned at the top in a large, bold, blue font. Below them, the words 'SAPHIRE' and 'BATH' are stacked vertically in a large, bold, blue font.

SCALE: 1/2" = 1'



E2 KITCHEN

SCALE: 1/2" = 1'



E4
DIAMOND
BATH

SCALE: 1/2" = 1'

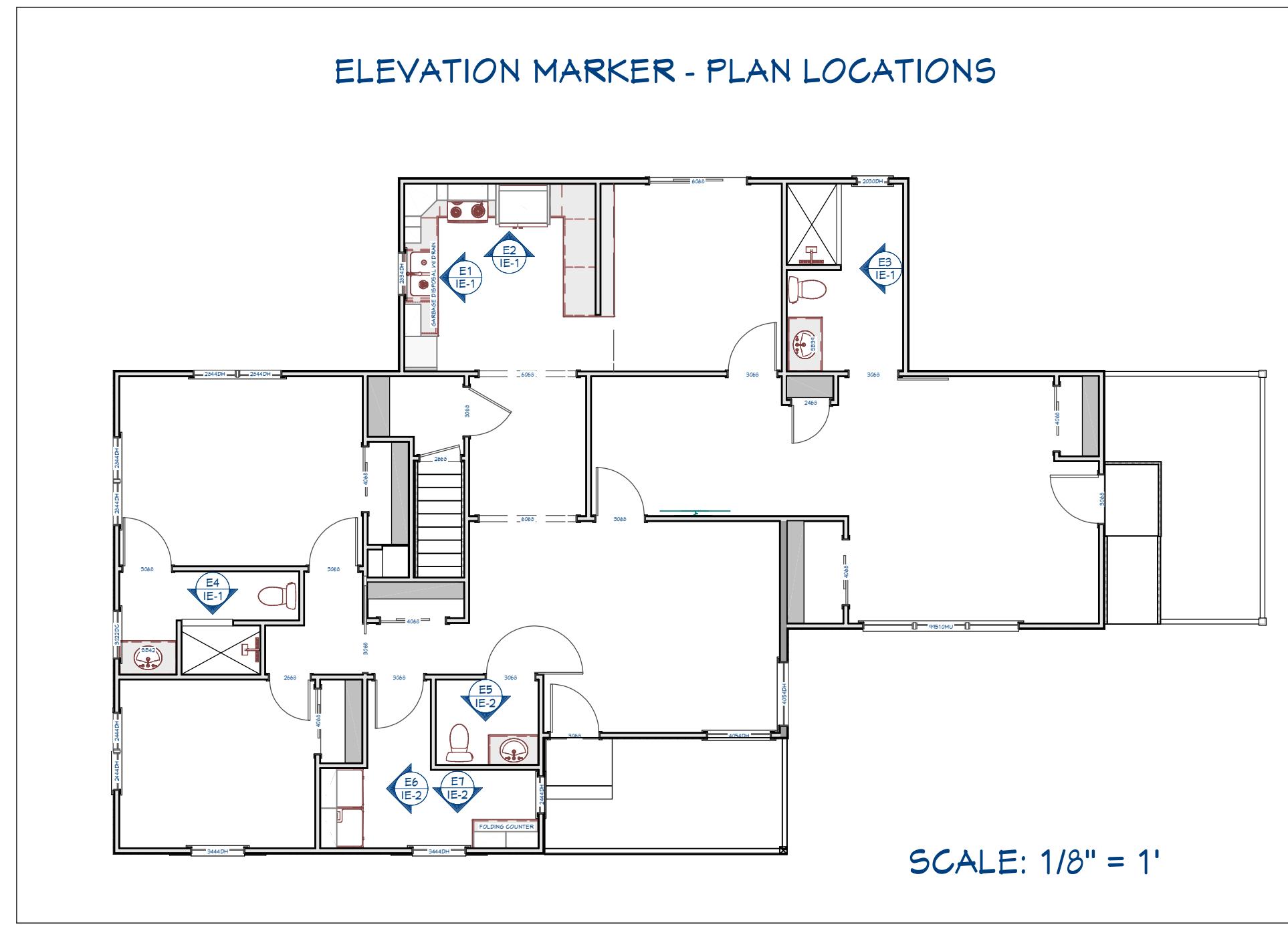
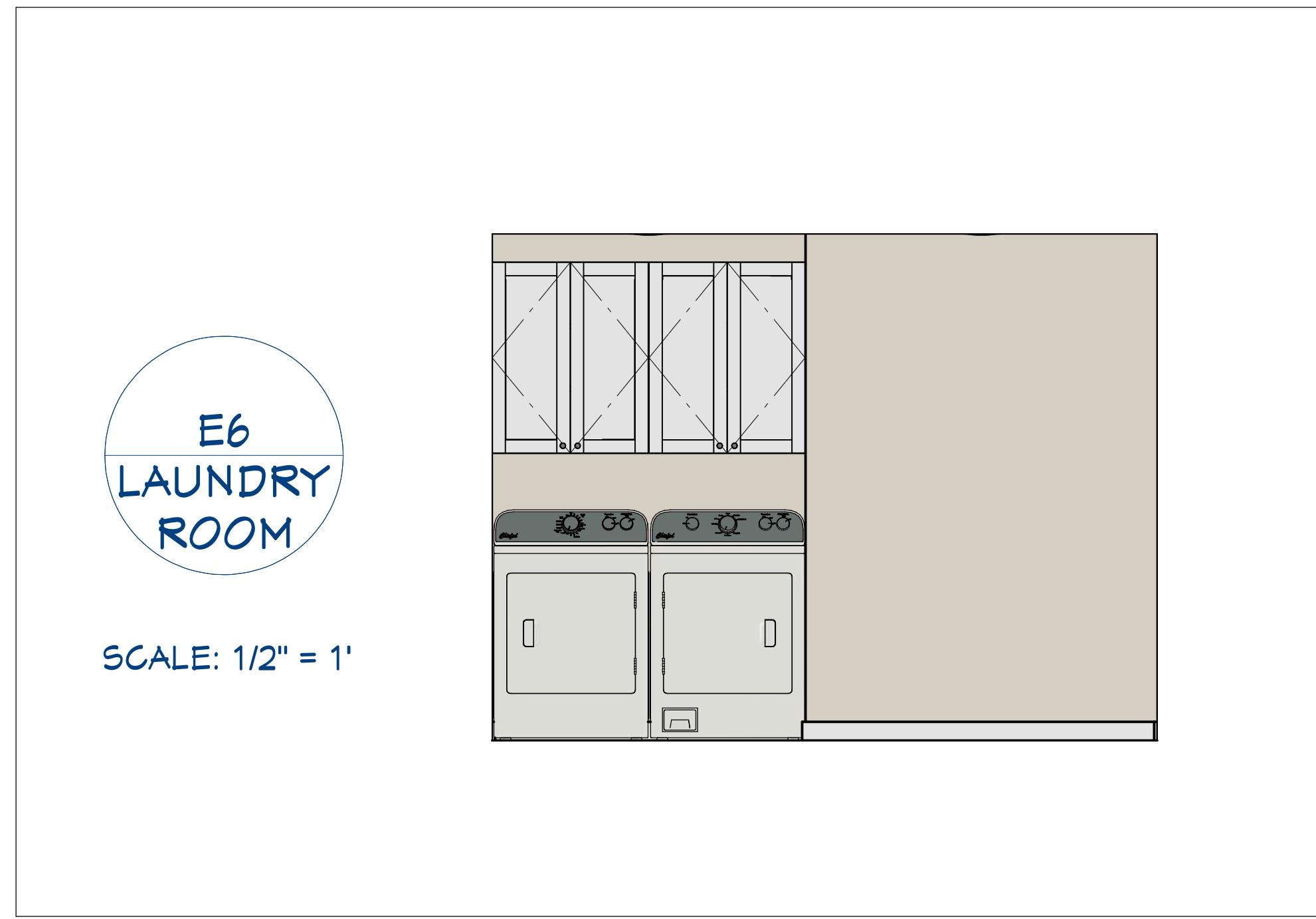
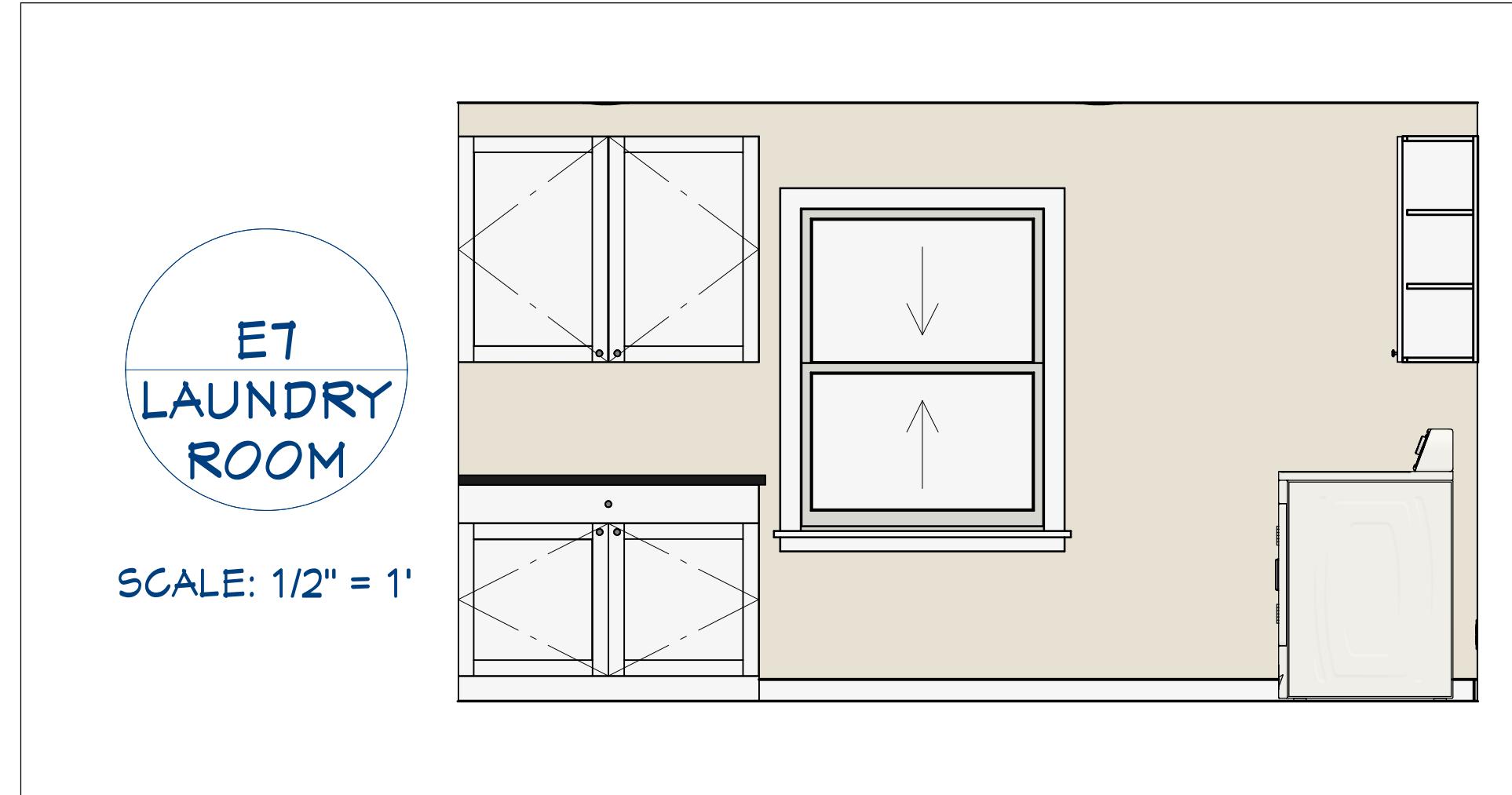
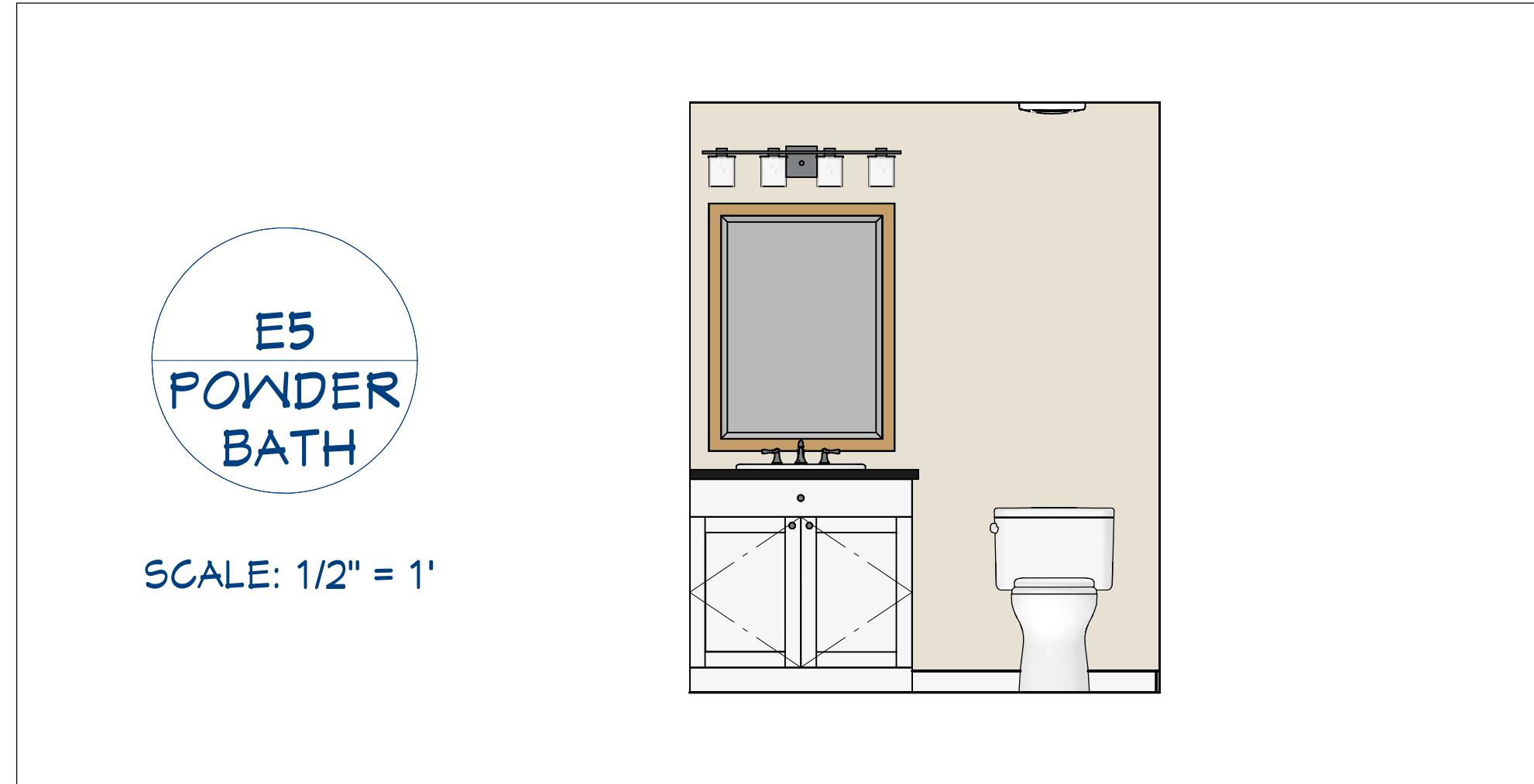
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INTERIOR ELEVATIONS

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SHEET:
IE-2

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SAPHIRE SUITE



SUNROOM / KITCHEN



DIAMOND SUITE



KITCHEN

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DATE: 12/31/25
SCALE: 1/4" = 1'
SHEET: 13D-1